

PRECISION HOME INSPECTION, INC.

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CONFIDENTIAL INSPECTION REPORT



Prepared for:

Client: _____

Property Location: _____

City/State: Willow Spring, NC

Inspector: */s/ Gavin A. Smith*
Gavin A. Smith
NC Home Inspector License #798
ASHI Certified Member #202908
NC General Contractor License #39297

Date of Inspection: 7/2/10

Style of Dwelling: Detached, Single Family

Approximate Age: 37 years

DISTRIBUTION: (Date: 07/05/2010)

- √ Report and receipt e-mailed to buyer
- √ Buyer paid at time of inspection
- √ Report and receipt e-mailed to buyer's agent

REPORT SUMMARY

Property: _____; Willow Spring, NC

Overall, the home was constructed in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction, and has average maintenance over the years. However in accordance with prevailing local real estate purchase agreements, the following items should be addressed:

FOLLOWING ARE SUGGESTED HIGH PRIORITY CORRECTIVE ACTION:

GROUND

1. Grade at foundation needs correction at back side of house as wash trail was noted under screened-in porch leading to crawlspace. Grade should be made to slope away from house at least 6' and shed water away from house.
2. Deck was not professionally built as posts were not placed on permanent footers and band is undersized. Beam supporting roof structure appears to be screwed to house fascia trim. Should be further evaluated and repaired as needed by a licensed general contractor.

EXTERIOR

3. Moisture damage noted in siding on back left side of house at lower roof abutment to upper wall and on left side of house above bricks. All soft siding should be replaced.
4. Vinyl siding was not properly installed on front side of garage and house. Should be further evaluated and repaired as needed by a professional vinyl siding installation company.
5. Crawlspace door and framing are deteriorated and need repair. Should be further evaluated and repaired as needed by a licensed general.

FOUNDATION

6. Noted significant damage to floor structure in multiple areas in crawlspace above the back, left, and front foundation walls, as well as, throughout the crawlspace. Crawlspace should be further evaluated thoroughly and repaired as needed by a licensed general contractor.
7. Noted substance that appears like mold on floor structure in multiple areas of crawlspace. Should be further evaluated and repaired as needed by a sanitation engineer.
8. Noted evidence of pests and damage in floor structure near front foundation wall. Should be further evaluated and repaired as needed by a licensed general contractor.
9. Noted significant moisture damage in girder in crawlspace. Should be further evaluated and repaired as needed by a licensed general contractor.
10. Noted drop girder installed in front section of crawlspace that is not properly built and was placed on a wooden platform.
11. Evidence of previous water penetration was noted along the back, front, and left foundation walls. Source of water should be determined and corrected.

Continued on next page...

Summary of Items for Repair continued...
_____ Willow Spring, NC

ROOF SYSTEM

12. Noted significant cracking and damage in most shingles throughout roof. This is most likely due to the insufficient ventilation. Should be further evaluated and repaired as needed by a professional roofing contractor.

PLUMBING

13. Pressure relief valve drain line is missing. This is a safety hazard. We recommend this drain line be extended to within 6" of the floor or a safe location by a plumber.

14. Noted evidence of leak and corrosion in both water heaters in crawlspace. Water heaters should be further evaluated thoroughly and repaired as needed by a licensed plumber.

15. Noted disconnected 2" drainline in back left section of crawlspace that has been dumping into crawlspace for an extended period of time. Should be further evaluated repaired as needed by a licensed plumber.

16. Noted unusual gray drainline piping in crawlspace. Should be further evaluated and repaired as needed by a licensed plumber.

17. Noted small pipe sticking out of 3" drainline in front section of crawlspace. Should be further evaluated repaired as needed by a licensed plumber.

18. Noted drain line by left foundation wall that is going into a 4" drain tile. This is unprofessional plumbing. Should be further evaluated repaired as needed by a licensed plumber.

19. Noted unusual drain piping installed in crawlspace - grey PVC. Should be further evaluated repaired as needed by a licensed plumber.

20. Noted leak under bathtub in crawlspace. Should be further evaluated repaired as needed by a licensed plumber.

21. Mud sink faucet leaks in laundry room. Should be further evaluated and repaired as needed by a licensed plumber.

22. Mixing valves leak in bathtub/shower of master bathroom and in bathtub/shower of back middle bedroom bathroom. This could be leaking into the wall cavity and should be repaired as needed by a licensed plumber.

23. Noted detached building bathroom shower mixing valve is improperly installed and water could leak into wall cavity. Should be further evaluated and repaired as needed by a licensed plumber.

24. Slow drainage noted in laundry room sink. Should be further evaluated and repaired as needed by a licensed plumber.

25. Sink stopper does not function properly in back middle bedroom bathroom sink. Should be repaired as needed by a licensed plumber.

26. Leak noted under buddy bathroom sinks. Should be further evaluated and repaired as needed by a licensed plumber.

Continued on next page...

Summary of Items for Repair continued...
_____ ; Willow Spring, NC

- 27. Bathroom sink is not properly secured to wall structure. Should be further evaluated and repaired as needed by a licensed plumber.
- 28. Noted holes/chips in master bathtub unit. Should be further evaluated and repaired as needed by a licensed plumber.
- 29. Laundry room toilet does not function properly. Should be further evaluated and repaired as needed by a licensed plumber.
- 30. Leak noted at hose faucet on front side of house. Should be further evaluated and repaired as needed by a licensed plumber.

HEATING - AIR CONDITIONING

- 31. Ductwork is disconnected in crawlspace. Should be further evaluated and repaired as needed by a licensed HVAC contractor.

ELECTRICAL SYSTEM

- 32. Multiple wires are connected to a single lug on a circuit breaker(s) where only one wire should be connected. Should be further evaluated and repaired as needed by a licensed electrician.
- 33. Over fusing or (over sized breaker) in electrical panel (fuse or breaker size too large for wire size). This could allow more electricity to pass through the wire than it can safely handle and cause it to overheat. Should be further evaluated and repaired as needed by a licensed electrician.
- 34. No observable proper grounding system noted. Should be further evaluated and repaired as needed by a licensed electrician.
- 35. Noted electrical circuit going through cover plate on main electric panel in garage. Should be further evaluated and repaired as needed by a licensed electrician.
- 36. Sub-panel in garage labeled "well pump" is unsafely and unprofessionally wired. Should be further evaluated and repaired as needed by a licensed electrician.
- 37. Noted sub-panel in damp crawlspace that is rusting. Electric panels should not be in damp places as it can lead to corrosion and hazardous conditions. A three lug breaker was also noted in this panel that appeared to be a 360volt circuit. Should be further evaluated and repaired as needed by a licensed electrician.
- 38. Service disconnect by gas pack heater is rusted and door has fallen off. Should be further evaluated and repaired as needed by a licensed electrician.
- 39. Noted loose unprofessional wiring above water heater in crawlspace. Should be further evaluated and repaired as needed by a licensed electrician.
- 40. GFCI protection is either not present or not operational in exterior receptacles. Should be further evaluated and repaired as needed by a licensed electrician.

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Summary of Items for Repair continued...
_____ ; Willow Spring, NC

41. Open splices in wiring is visible in the both the attic and crawlspace; this is considered unsafe. All wire terminations or splices should be contained in junction boxes with cover-plates. Should be further evaluated and repaired as needed by a licensed electrician.

42. Smoke detector does not sound when test button is pressed in master bedroom.

**A licensed electrician should inspect the entire electrical system due to the number of issues observed.

INTERIOR

43. Noted gaps in masonry in smoke chamber, off centered flue tiles and a broken damper handle. Should be further evaluated and repaired as needed by a certified chimney sweep.

KITCHEN

44. Leak noted under kitchen sink. Should be further evaluated and repaired as needed by a licensed plumber.

FOLLOWING ARE SUGGESTED MEDIUM PRIORITY CORRECTIVE ACTION:

EXTERIOR

45. Noted moisture damage in trim on left side of front left gable. All soft wood should be replaced.

46. Noted area of possible leak stain repair on ceiling in garage. Suggest asking seller for details.

FOUNDATION

47. Noted several sections of fallen and deteriorated insulation in crawlspace. Should be replaced as needed.

48. Noted heavy condensation buildup on insulation in crawlspace.

49. Some vents have been blocked off. Should be repaired as needed.

ROOF SYSTEM

50. Pull-down stairs unit should have insulation placed between the rungs on the door for efficiency.

51. Hardware on pull-down stairs is loose and/or missing and unsafe.

52. Heavy debris noted in gutter. Gutters should be cleaned in order to function efficiently.

Continued on next page...

Summary of Items for Repair continued...
_____ ; Willow Spring, NC

PLUMBING

- 53. The hot water at the kitchen sink measured 138°F. This is considered unsafe as it can scald. Temperature should be lowered.
- 54. Toilet would not flush properly with one push on handle and adjustment is needed in master bathroom and laundry room. Should be further evaluated and repaired as needed by a licensed plumber.
- 55. Toilet is not bolted down tightly to the floor in detached building bathroom. The wax seal should be replaced and toilet reinstalled and tightened by a licensed plumber to avoid water damage to the floors and walls.

ELECTRICAL

- 56. Noted broken cover on front exterior outlet.

HEATING - AIR CONDITIONING

- 57. Receipt for heater should be checked to ensure that unit was installed by a licensed HVAC contractor and that unit was properly converted to run on propane gas.

INTERIOR

- 58. Some windows in house were unopenable. All should be checked and repaired as needed.

KITCHEN

- 59. Dryer vent duct is disconnected in crawl space. Dryer vent duct should be replaced with a metal duct and extended to the exterior.

FOLLOWING ARE SUGGESTED LOW PRIORITY CORRECTIVE ACTION:

EXTERIOR

- 60. Doorbell does not function properly.

KITCHEN

- 61. Oven/stove is missing properly installed anti-tip device. Should be installed by an appliance repair person for safety reasons.

Note: This summary is not the entire report. The complete report may include additional information of concern to the client. It is strongly recommended that the client read the complete report and not rely solely on the summary pages when making requests for repairs. Most items noted for repair will likely require further evaluation and repair by licensed tradespeople. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your North Carolina real estate agent or an attorney.

INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

Date of Inspection: 7/2/10.
Time of Inspection: 10:30 am.
Property Address:



City/State: Willow Spring, NC.

CLIMATIC CONDITIONS:

Outside Temperature: 75°
Weather: Cloudy.
Soil Conditions: Dry.

BUILDING CHARACTERISTICS:

Main Entry Faces: South.
Age of House in Years: 37.
Building Type: Detached, Single Family.
Stories: 1.
Foundation Type: Crawlspace Construction.

UTILITY SERVICES:

Water Source: Well.
Sewage Disposal: Septic System.
Utilities Status: All utilities on.

OTHER INFORMATION:

House Occupied? Yes.

Client(s) Present: Yes.
Others Present: Client's agent; Client's family/friend.

PAYMENT INFORMATION:

Services Provided Home Inspection.
Payment Method: Check.

REPORT LIMITATIONS:

This report is intended only as a general guide to help the client make his/her own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from this report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, molds, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, then the client shall communicate the said issues in writing within 10 days of the inspection; it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow Precision Home Inspection, Inc. to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

FOUNDATIONS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soil engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

GRADE:

Slope: Noted gentle slope from front to back. No water penetration was noted during this inspection but some could occur during heavy rains. Contact the current home owner/resident concerning this possibility and review the property disclosure statement.

Condition:



Grade at foundation needs correction at back side of house as wash trail was noted under screened-in porch leading to crawlspace. Grade should be made to slope away from house at least 6' and shed water away from house.

DRIVEWAY:

Type: Concrete.
Condition: No problems noted.

WALKWAY:

Type: Concrete.
Condition: No problems noted.

PATIO/PORCHES:

Type: Concrete. Brick.
Condition: Functional.

DECK/SCREENED-IN PORCHES

Type: Wood.

Condition:



Deck was not professionally built as posts were not placed on permanent footers and band is undersized. Beam supporting roof structure appears to be screwed to house fascia trim. Should be further evaluated and repaired as needed by a licensed general contractor.

EXTERIOR STAIRS/STOOPS:

Type: Wood, Brick.

Condition: Functional.

EXTERIOR

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. All exterior grades should allow for surface and roof water to flow away from the foundation. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Firewood should not be stored within or in contact with the structure or under the deck (if applicable) as it often harbors wood-destroying insects. Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. Bushes provide convenient entry for wood-boring insects and should be kept trimmed to prevent any contact with exterior siding.

SIDING:

Material:

Hardboard siding: This is a porous material and must be kept well-caulked and painted at cut ends, marred areas, joints, deep nail holes, and at the bottom of each board. Manufacturer directions say siding should be repainted every 3-5 years. This product is involved in a class-action lawsuit. Detailed information is available concerning this product and the class-action lawsuit online at www.kinsella.com/masonite and at www.masoniteclaims.com. A sincere effort was made to try and discover all areas of damaged siding but we do not promise to find all damaged siding. Buyer may want to consider hiring an independent siding contractor to further evaluated condition of siding. Brick. Vinyl siding.

Condition:



Moisture damage noted in siding on back left side of house at lower roof abutment to upper wall. All soft siding should be replaced.

Moisture damage noted in siding on left side of house above bricks. All soft siding should be replaced.

Vinyl siding was not properly installed on front side of garage and house. Should be further evaluated and repaired as needed by a professional vinyl siding installation company.

TRIM:

Material: Wood.
Condition: Noted moisture damage in trim on left side of front left gable. All soft wood should be replaced.



EXTERIOR DOORS:

Condition: Functional.
Door frame/Trim: Crawlspace door and framing are deteriorated and need repair. Should be further evaluated and repaired as needed by a licensed general.



Hardware/Weatherstripping: Doorbell does not function properly.

CHIMNEY:

Material: Pre-fabricated chimney with standard siding.
Condition: Functional.

Gaarage notes on following page...

GARAGE:

Type: Attached. Two car.
Firewall: No fire wall provided. We recommend a fire separation wall be added.

Garage Doors: Functional. Automatic door opener is operational. Automatic reverse feature is operational.

Floor: No problems noted.

Water Penetration: Noted area(s) of possible leak stain repair on ceiling in garage. Suggest asking seller for details.

FOUNDATION

Minor cracks (1/4" to 3/8") are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Due to the constant state of physical change and weather conditions, it is not possible to ascertain the degree of any future water penetration. Buyer uncertainty should be resolved prior to purchase of the property. This report is based on a careful visual inspection of the readily accessible areas of the property. There are areas of the structure which are obstructed and inaccessible, such as behind insulation. This is not a warranty as to the absence of wood-destroying insects. A thorough pest inspection and any necessary treatment are recommended to be performed by a certified pest control company. For items noted below regarding structural problems, a structural engineer or general contractor should make the evaluations, if needed, and necessary repairs.

STRUCTURE

Foundation Type:	Crawlspace.
Height:	3' to 4'
Visible Foundation Material:	Concrete block. Brick.
Visible Floor Structure:	Conventional wood framing.
Visible Piers or Posts:	Concrete block. Brick.
Visible Girders:	Wood.
Accessibility:	Fully accessible.
Vapor Barrier:	None, Suggest installing vapor barrier of 6 mil thickness to cover 100% of crawlspace ground to help lower the amount of moisture in the air and wood.
Floor Insulation:	Noted several sections of fallen and deteriorated insulation in crawlspace. Should be replaced as needed. Noted heavy condensation buildup on insulation in crawlspace.
Foundation Vents:	Some vents have been blocked off. Should be repaired as needed.

Foundation vents should be kept closed during warm summer months to prevent condensation in the crawlspace and during extremely cold weather to keep pipes from freezing.

CONDITION

Slab/Basement Floor Structure:	Not applicable.
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Foundation:



There are no readily visible problems noted in foundation. Pictures above and below show concerns in first floor structure.

First Floor Structure:



Noted significant damage to floor structure in multiple areas in crawlspace above the back, left, and front foundation walls, as well as, throughout the crawlspace. Crawlspace should be further evaluated thoroughly and repaired as needed by a licensed general contractor.

Noted substance that appears like mold on floor structure in multiple areas of crawlspace. Should be further evaluated and repaired as needed by a sanitation engineer.

Noted evidence of pests and damage in floor structure near front foundation wall. (See picture below). Should be further evaluated and repaired as needed by a licensed general contractor.

**Piers/Posts/
Girders:**



Noted significant moisture damage in girder in crawlspace. Should be further evaluated and repaired as needed by a licensed general contractor. Noted drop girder installed in front section of crawlspace that is not properly built and was placed on a wooden platform.

**Water
Penetration:**



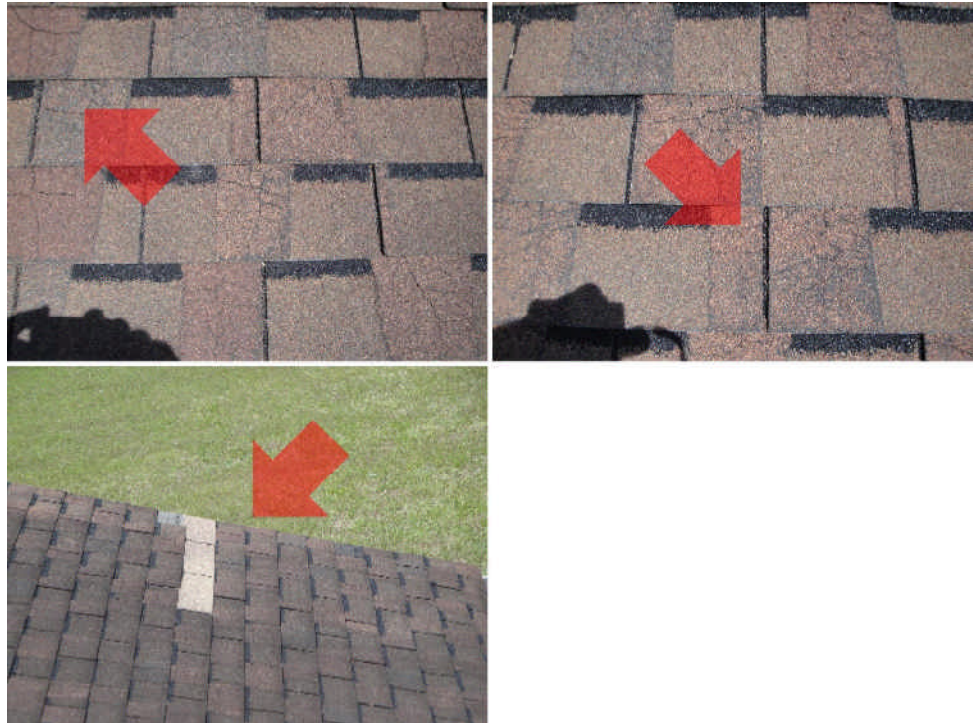
Evidence of previous water penetration was noted along the back, front, and left foundation walls. Source of water should be determined and corrected.

ROOF SYSTEM

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

ROOF:

- Style:** Gable.
- Roof covering Type:** Composition shingles.
- How roof surface was viewed:** Viewed from ground with binoculars.
- Roof Penetrations:** Plumbing vents. Exhaust hoods.
- Condition:**



Noted significant cracking and damage in most shingles throughout roof. This is most likely due to the insufficient ventilation. Should be further evaluated and repaired as needed by a professional roofing contractor.

EXPOSED FLASHINGS:

- Type:** Metal. Rubber. Plastic.
- Condition:** No visible problems noted in flashing.

ATTIC AND INSULATION:

Attic access:	Attic inspection is made from the floored areas of the attic only. Precision Home Inspection does not walk on uncovered trusses/joists as it is considered unsafe. Client(s) may want to consider having the inaccessible areas inspected by licensed general contractor. Pull-down stairs. Pull-down-stairs unit should have insulation placed between the rungs on the door for efficiency. Hardware on pull-down-stairs is loose and/or missing and unsafe.
Ventilation	Soffit. Gable.
Structure	Conventional framing.
Condition	No visible problems noted in attic structure.
Insulation:	Blown fiberglass. Recommend additional insulation in the attic area.

Permanent year round ventilation equal to approximately 1 sq ft per 150 sq ft of attic floor area should be provided to prevent condensation and heat build-up. Ventilation is especially important in summer. Lack of ventilation can cause rippling and early wear of the roof shingles, reduced insulation efficiency and structural damage due to dampness and heat.

GUTTERS & DOWNSPOUTS:

Type:	Aluminum.
Condition:	Heavy debris noted in gutter. Gutters should be cleaned in order to function efficiently.

PLUMBING

Water quality testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection.

WATER HEATER:

Manufacturer: Envi-Ro-Temp, US Craftmaster.
Model/Serial #: EFU40DV J86225534; E1F30LD035V 0012105827.
Age in years: 24; 10.
Type: Electric.
Capacity: 40 gallons; 28 gallons.
Location: Crawlspace.
Condition:



Pressure relief valve drain line is missing. This is a SAFETY HAZARD. We recommend this drain line be extended to within 6" of the floor or a safe location by a plumber.

Noted evidence of leak and corrosion in both water heaters in crawlspace. Water heaters should be further evaluated thoroughly and repaired as needed by a licensed plumber.

Hot Water Temp: The hot water at the kitchen sink measured 138°F. This is considered unsafe as it can scald. Temperature should be lowered.

The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor, a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. If improper installation is present, this should be corrected.

SUPPLY LINES:

Main Water Shut-Off: Main water shut-off is located in the crawlspace.
Material: Copper.
Condition: No problems noted.

DRAIN LINES:

Material: PVC.

Condition:



Noted disconnected 2" drainline in back left section of crawlspace that has been dumping into crawlspace for an extended period of time. Should be further evaluated repaired as needed by a licensed plumber.

Noted unusual gray drainline piping in crawlspace. Should be further evaluated and repaired as needed by a licensed plumber.

Noted small pipe sticking out of 3" drainline in front section of crawlspace. Should be further evaluated repaired as needed by a licensed plumber.

Noted drain line by left foundation wall that is going into a 4" drain tile. This is unprofessional plumbing. Should be further evaluated repaired as needed by a licensed plumber.

Noted unusual drain piping installed in crawlspace - grey PVC. Should be further evaluated repaired as needed by a licensed plumber.

Noted leak under bathtub in crawlspace. Should be further evaluated repaired as needed by a licensed plumber.

BATHROOMS:

**Faucets and
Valves:**

Mud sink faucet leaks in laundry room. Should be further evaluated and repaired as needed by a licensed plumber.

Mixing valve leaks in bathtub/shower of master bathroom. This could be leaking into the wall cavity and should be repaired as needed by a licensed plumber.

Mixing valve leaks in bathtub/shower of back middle bedroom bathroom. This could be leaking into the wall cavity and should be repaired as needed by a licensed plumber.

Noted detached building bathroom shower mixing valve is improperly installed and water could leak into wall cavity. Should be further evaluated and repaired as needed by a licensed plumber.

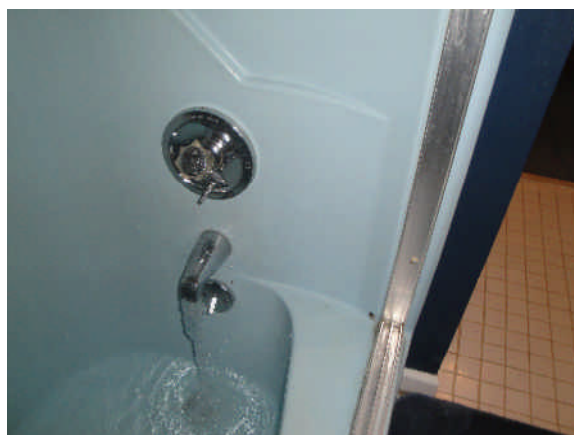
Sink Areas:



Slow drainage noted in laundry room sink. Should be further evaluated and repaired as needed by a licensed plumber.
Sink stopper does not function properly in back middle bedroom bathroom sink. Should be repaired as needed by a licensed plumber.
Leak noted under buddy bathroom sinks. Should be further evaluated and repaired as needed by a licensed plumber.
Bathroom sink is not properly secured to wall structure. Should be further evaluated and repaired as needed by a licensed plumber.

**Bathtubs/
Showers:**

Noted holes/chips in master bathtub unit. Should be further evaluated and repaired as needed by a licensed plumber.



Toilets:

Laundry room toilet does not function properly. Should be further evaluated and repaired as needed by a licensed plumber.
Toilet would not flush properly with one push on handle and adjustment is needed in master bathroom and laundry room. Should be further evaluated and repaired as needed by a licensed plumber.
Toilet is not bolted down tightly to the floor in detached building bathroom. The wax seal should be replaced and toilet reinstalled and tightened by a licensed plumber to avoid water damage to the floors and walls.

**Ventilation/
Openable
window:**

Functional.

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.

HOSE FAUCETS:

Operation:

Leak noted at hose faucet on front side of house. Should be further evaluated and repaired as needed by a licensed plumber.

*Do not leave hoses connected to faucets during freezing temperatures as this may cause them to freeze and cause damage to your pipes.

HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building is not addressed in this visual inspection. Inspecting electronic air cleaners, humidifiers and dehumidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

HEATING SYSTEM DESCRIPTION:

Location of Unit(s):	Exterior of house, on back side of house.
System Type(s):	Forced Air. Gas pack unit.
Fuel:	Electric, Propane.
Manufacturer:	Trane.
Main Floor Model/ Serial #	2YCC3060A1096AA 8141XU09H.
Capacity of Main Heating Unit:	96,000 BTU's.
Normal Temp Rise of Main Heating Unit:	Normal temperature rise for this unit is 25 - 55°F.
Approximate Age in Years:	2.

HEATING SYSTEM CONDITION:

Status:	Receipt for heater should be checked to ensure that unit was installed by a licensed HVAC contractor and that unit was properly converted to run on propane gas.
Normal Controls:	Functional.
Air Handler Unit:	Air-flow through system may be insufficient for this size unit, and temperature drop, while still within normal limits, typically is higher in this size unit. Should be cleaned and serviced/repared as needed by a licensed HVAC contractor.
Pump/Blower Fan:	Functional.
Temperature Rise:	Functional.
Combustion Air:	Functional.

Venting: Functional.

Additional Comments: HVAC systems should be serviced annually to maintain proper operation and efficiency per manufacturers recommendations.

AIR CONDITIONING:

Type: Central, Electric.

Manufacturer: Trane.

**Main Floor Model/
Serial #** 2YCC3060A1096AA 8141XU09H.

**Capacity in Tons
Main Floor
System:** 5.

**Approximate Age
in Years:** 2.

Power Source: 220 Volt, Electrical disconnect present.

Status: Functional.

Temperature Drop: Air input temperature was 69°F. Air output temperature was 53°F. A temperature drop of 14°F. to 22°F. is normal when the air conditioner is tested.

Line Insulation: Functional.

Condensate Drain: Air-conditioner is not running or has not been running long enough; can not check condensate line(s).

DUCTWORK:

Type Flexible Round.

Air Plenum: Functional.

Air Filters: Main Filter Size(s): (14x20), Serviceable.

Ducts/Air Supply: Ductwork is disconnected in crawlspace. Should be further evaluated and repaired as needed by a licensed HVAC contractor.



ELECTRICAL SYSTEM

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. It is our recommendation that all electrical repairs be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

ELECTRICAL SERVICE:

Service Entrance

Type: Aluminum. Overhead. 110/220 Volt. Circuit breakers.

Condition: Functional. Proper grounding was noted.

Mail Panel

Amperage/

Location: 150 amps; 200 amps; Garage.

Sub Panel

Amperage/

Location: 150 amps; Garage.
90 amps; Crawlspace -(This panel cover was not removed due to unsafe conditions. Should be further evaluated and repaired as needed by a licensed electrician.)

Total # of 110 Volt

Circuits: 21.

Total # of 220 Volt

Circuits: 5.

Electrical Panels Condition and pictures on following page...

ELECTRICAL PANELS:

Main Panel

Condition:



Multiple wires are connected to a single lug on a circuit breaker(s) where only one wire should be connected. Should be further evaluated and repaired as needed by a licensed electrician.

Over fusing or (over sized breaker) in electrical panel (fuse or breaker size too large for wire size). This could allow more electricity to pass through the wire than it can safely handle and cause it to overheat. Should be further evaluated and repaired as needed by a licensed electrician.

No observable proper grounding system noted. Should be further evaluated and repaired as needed by a licensed electrician.

Noted electrical circuit going through cover plate on main electric panel in garage. Should be further evaluated and repaired as needed by a licensed electrician.

A licensed electrician should inspect the entire electrical system due to the number on issues observed.

Sub-Panel Condition:

Sub-panel in garage labeled "well pump" is unsafely and unprofessionally wired. Should be further evaluated and repaired as needed by a licensed electrician.

Noted sub-panel in damp crawlspace that is rusting. Electric panels should not be in damp places as it can lead to corrosion and hazardous conditions. A three lug breaker was also noted in this panel that appeared to be a 360volt circuit. Should be further evaluated and repaired as needed by a licensed electrician.

WIRING to HVAC SYSTEMS and OTHER MAJOR APPLIANCES:

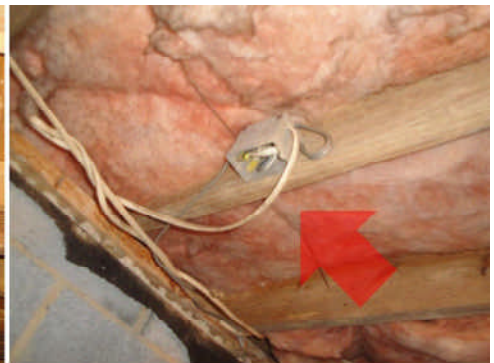
Condition:

Service disconnect by gas pack heater is rusted and door has fallen off. Should be further evaluated and repaired as needed by a licensed electrician.
Noted loose unprofessional wiring above water heater in crawlspace. Should be further evaluated and repaired as needed by a licensed electrician.



INTERIOR WIRING:

Branch Wiring:



Copper. A representative sampling of switches and outlets was tested. As a whole, outlets and switches throughout the house are in serviceable condition. Stored items prevent access and testing at some outlets and switches. Noted broken cover on front exterior outlet. GFCI protection is either not present or not operational in exterior receptacles. Should be further evaluated and repaired as needed by a licensed electrician. Unprofessional modifications or repairs have been made to the electrical system. It is recommended that a licensed electrician inspect entire electrical system. Open splices in wiring is visible in the both the attic and crawlspace; this is considered unsafe. All wire terminations or splices should be contained in junction boxes with cover-plates. Should be further evaluated and repaired as needed by a licensed electrician.

Lights, Switches No problems noted.

Ceiling Fans Functional.

Additional Notes: Suggest installing GFCI protection in all receptacles within 6" of kitchen sink. in all bathroom receptacles.

SMOKE DETECTOR

Condition: Smoke detector does not sound when test button is pressed in master bedroom.

INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

DOORS:

Condition: No problems observed.

WINDOWS:

Type: Vinyl. Wood. Double hung, Casement.

Condition: Some windows in house were unopenable. All should be checked and repaired as needed.

INTERIOR WALLS:

Material: Drywall on wood framing studs.

Condition: No problems observed.

CEILINGS:

Type: Drywall.

Condition: Noted crack in family room ceiling.

FLOORS:

Type: Carpet. Wood.

Condition: No problems observed. Stored items or furnishings prevented full inspection.

STAIRS & HANDRAILS:

Condition: Not applicable.

FIREPLACE/WOOD BURNING DEVICES:

Location: Family room.

Type: Masonry.

Condition:

Noted gaps in masonry in smoke chamber, off centered flue tiles and a broken damper handle. Should be further evaluated and repaired as needed by a certified chimney sweep.



KITCHEN

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

KITCHEN SINK:

Type: Porcelain.
Condition: Leak noted under kitchen sink. Should be further evaluated and repaired as needed by a licensed plumber.



FAUCETS:

Condition: Faucet is serviceable. Sprayer attachment is serviceable.

RANGE/COOK TOP AND OVEN:

Type: Electric, Combination.
Condition: Oven/stove is missing properly installed anti-tip device. Should be installed by an appliance repair person for safety reasons.

VENTILATION:

Type: Internal.
Condition: Functional.

DISHWASHER:

Condition: Functional.

GARBAGE DISPOSAL:

Condition: None installed.

TRASH COMPACTOR:

Condition: Not applicable.

MICROWAVE:

Condition: Functional.

INTERIOR COMPONENTS:

Counters/
Cabinets: Wood. No problems noted.

Note: Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

LAUNDRY:

Location: Service area main floor.

Condition: Electrical outlet is grounded. Dryer vent duct is disconnected in crawl space. Dryer vent duct should be replaced with a metal duct and extended to the exterior.

